



**HILLSIDE CORINTH
PLANNED DEVELOPMENT NO. 69
BASE ZONING DISTRICT: SF-4 SINGLE FAMILY
RESIDENTIAL
ORDINANCE NO. 24-01-18-05
(ADOPTED 1-18-2024)**

AMENDED BY:

- MINOR PD AMENDMENT CASE NO. ZAPD25-0002:
PROVIDING AMENDED PERIMETER SCREENING AND
LANDSCAPING REQUIREMENTS (APPROVED 6-22-26)**

**CITY OF CORINTH, TEXAS
ORDINANCE NO. 24-01-18-05**

HILLSIDE CORINTH PLANNED DEVELOPMENT DISTRICT #69

AN ORDINANCE OF THE CITY OF CORINTH, TEXAS, AMENDING THE CITY’S ZONING ORDINANCE AND THE “OFFICIAL ZONING DISTRICT MAP OF THE CITY OF CORINTH, TEXAS,” EACH BEING A PART OF THE UNIFIED DEVELOPMENT CODE OF THE CITY OF CORINTH, BY AMENDING THE ZONING CLASSIFICATION FOR THE PROPERTY DESCRIBED IN EXHIBIT “A,” ATTACHED HERETO AND INCORPORATED HEREIN, FROM SF-2 SINGLE FAMILY RESIDENTIAL TO PD-PLANNED DEVELOPMENT ZONING DISTRICT WITH A BASE ZONING DESIGNATION OF SF-4, SINGLE-FAMILY RESIDENTIAL ON APPROXIMATELY 20 ACRES IDENTIFIED AS HILLSIDE CORINTH SINGLE-FAMILY PLANNED DEVELOPMENT DISTRICT NO. 69 (“PD-69”); PROVIDING A LEGAL PROPERTY DESCRIPTION; PROVIDING A GRAPHIC DEPICTION OF THE SITE TO BE REZONED (EXHIBIT “B”); APPROVING PLANNED DEVELOPMENT STANDARDS (EXHIBIT “C”); APPROVING A PLANNED DEVELOPMENT CONCEPT PLAN (EXHIBIT “D”); APPROVING A CONCEPT LANDSCAPE AND OPEN SPACE PLAN (EXHIBIT “E”); APPROVING ELEVATIONS (EXHIBIT “F”); PROVIDING FOR THE INCORPORATION OF PREMISES; PROVIDING FOR A PENALTY NOT TO EXCEED \$2,000 A DAY FOR EACH VIOLATION OF THE ORDINANCE AND A SEPARATE OFFENSE SHALL OCCUR ON EACH DAY THAT A VIOLATION OCCURS OR CONTINUES; PROVIDING A CUMULATIVE REPEALER CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A SAVINGS/CONFLICT CLAUSE; PROVIDING FOR PUBLICATION AND AN EFFECTIVE DATE.

WHEREAS, the City of Corinth, Texas has adopted a Unified Development Code of the City as part of its Code of Ordinances, which includes the Comprehensive Zoning Ordinance and which, in accordance with the City’s Comprehensive Plan, establishes zoning districts and adopts a Zoning Map; and

WHEREAS, the property is comprised of a tract of land, approximately 20 acres as described in Exhibit “A” (the “Property”) and depicted in Exhibit “B” (the “Graphic Depiction”), and is currently zoned as SF-2 Single Family Residential, under the City’s Unified Development Code and as designated on the City’s Zoning Map; and

WHEREAS, an authorized person having a proprietary interest in the Property (the “Applicant”) has requested a change in the zoning classification of said Property to a PD-Planned Development zoning district with a base zoning of SF-4 Single-Family Residential under the City’s Unified Development Code (“UDC”), more specifically identified as Hillside Corinth Single-Family Planned Development District No. 69 (“PD-69”); and

WHEREAS, the City Council and the Planning and Zoning Commission of the City of Corinth, having given the requisite notices by publication and otherwise, and each, held due hearings and afforded a full and fair hearing to all the property owners generally, and to the persons interested and situated in the affected area and in the vicinity thereof; and

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WHEREAS, the Planning and Zoning Commission has recommended approval of the requested change in zoning to the Property, and the City Council has determined that the Property has unique characteristics and that zoning through a planned development district is the most appropriate mechanism for zoning the Property, thus an amendment to the Comprehensive Zoning Ordinance and the Zoning Map of the City's Unified Development Code, in accordance with the standards and specifications set forth herein, including without limitation the Planned Development Standards set forth in **Exhibit "C"** should be approved; and

WHEREAS, the City Council considered the following factors in making a determination as to whether the requested change should be granted or denied: safety of the motoring public and pedestrians using the facilities in the area immediately surrounding the sites; safety from fire hazards and damages; noise producing elements and glare of the vehicular and stationary lights and effect of such lights on established character of neighborhoods; location, and types of signs and relation of signs to traffic control and adjacent property; street size and adequacy of width for traffic reasonably expected to be generated by the proposed use around the site and in the immediate neighborhood; adequacy of parking as determined by requirements of this ordinance for off-street parking facilities; location of ingress and egress points for parking and off-street loading spaces, and protection of public health by surfacing on all parking areas to control dust; effect on the promotion of health and the general welfare; effect on light and air; effect on the over-crowding of the land; effect on the concentration of population, and effect on transportation, water, sewerage, schools, parks and other public facilities; and

WHEREAS, the City Council further considered among other things the character of the proposed district and its peculiar suitability for particular use requested and the view to conserve the value of the buildings, and encourage the most appropriate use of the land throughout this City; and

WHEREAS, the City Council finds that the requested Amendment to the City's Comprehensive Zoning Ordinance and Zoning Map to effect the change in zoning for the Property to PD-69 promotes the health and the general welfare, provides adequate light and air, prevents the over-crowding of land, avoids undue concentration of population, and facilitates the adequate provision of transportation, water, sewerage, schools, parks and other public requirements; and the general health, safety and welfare of the community;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CORINTH, TEXAS:

SECTION 1. INCORPORATION OF PREMISES

The above and foregoing recitals constitute legislative findings of the City Council, are true and correct and are incorporated into the body of this Ordinance for all purposes.

SECTION 2. LEGAL PROPERTY DESCRIPTION; AMENDMENT

That the Unified Development Code of the City of Corinth ("UDC"), which UDC includes the Comprehensive Zoning Ordinance that establishes zoning districts in accordance with the City's Comprehensive Plan, and adopts the Zoning Map of the City of Corinth, is hereby amended to change the zoning classifications on approximately 20 acres of land, the overall boundary and legal description as specifically described in **Exhibit "A,"** attached hereto and incorporated herein (the "Property"), and as graphically depicted in **Exhibit "B,"** attached hereto and incorporated herein (the "Graphic Depiction"), from SF-2 Single Family Residential to PD-Planned Development zoning district with a

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base zoning of SF-4, Single-Family Residential, and identified as Hillside Corinth Single-Family Planned Development District No. 69 (“PD-69”) subject to the regulations contained in this Ordinance, including without limitation **Exhibit “C,”** (the “Planned Development Standards”) as further described in Section 5 below. The Zoning Map of the City is also hereby amended to reflect the new zoning classification for the Property as PD-69 in accordance with this Ordinance.

SECTION 3.

PLANNED DEVELOPMENT CONCEPT PLAN

The Planned Development Concept Plan for the Property as set forth in **Exhibit “D,” “Planned Development Concept Plan,”** a copy of which is attached hereto and incorporated herein, is hereby approved.

SECTION 4.

ADDITIONAL ANCILLARY CONCEPTUAL PLANS

Additional ancillary conceptual plans apply to the Property and shall be adhered to in the development and use of the Property. Such additional and ancillary conceptual plans are set forth in the Concept Landscape and Open Space Plan (**“Exhibit E”**), Elevations (**“Exhibit “F”**), are attached hereto and incorporated herein, and are collectively herein referred to as the **“Ancillary Conceptual Plans.”**

SECTION 5.

LAND USE REGULATIONS/ZONING MAP

A. The Planned Development Standards set forth in **Exhibit “C,”** attached hereto and made a part hereof for all purposes are hereby adopted and shall be adhered to in their entirety for the purposes of this PD-Planned Development zoning district (“PD-69”) with a base zoning of SF-4, Single-Family Residential. In the event of conflict between the provisions of **Exhibit “C”** and provisions of any other City zoning regulations, including without limitation, the regulations governing the SF-4, Single-Family Residential zoning district, **Exhibit “C”** shall control. Except in the event of a conflict as provided herein or as otherwise expressly provided herein, all UDC regulations shall apply to the Property and shall be cumulative.

B. That the zoning regulations and district herein established for the Property have been adopted in accordance with the Comprehensive Plan for the purpose of promoting the health, safety, morals and the general welfare of the community. They have been designed, with respect to both present conditions and the conditions reasonably anticipated to exist in the foreseeable future; to lessen congestion in the streets; to provide adequate light and air; to prevent over-crowding of land; to avoid undue concentration of population; and to facilitate the adequate provision of transportation, water, sewerage, drainage and surface water, parks and other commercial needs and development of the community. They have been made after a full and complete hearing with reasonable consideration among other things of the character of the district and its peculiar suitability for the particular uses and with a view of conserving the value of buildings and encouraging the most appropriate use of land throughout the community.

C. The Planned Development Standards (**“Exhibit C”**), the Planned Development Concept Plan (**“Exhibit D”**), the Concept Landscape and Open Space Plan (**“Exhibit E”**), and the Elevations (**“Exhibits “F”**), shall control the use and development of the Property in accordance with the provisions of this Ordinance, and all building permits and development requests shall be in accordance with applicable City ordinances, the PD Concept Plan, and the Ancillary Conceptual Plans. This Ordinance and all Exhibits hereto

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shall remain in effect as set forth herein unless amended by the City Council, or as otherwise provided for in UDC Subsection 2.10.09, Minor PD Amendment or Adjustment, as amended.

D. If a change to this Ordinance, including without limitation, the PD Concept Plan, and/or associated Ancillary Conceptual Plans, if any, is requested for the Property, the request shall be processed in accordance with the UDC and other development standards in effect at the time the change is requested for the proposed development and shall be subject to City Council approval, or as otherwise provided for in UDC Subsection 2.10.09, Minor PD Amendment or Adjustment, as amended.

E. The official Zoning Map of the City of Corinth, Texas shall be amended in accordance with this Ordinance to document the change in zoning for the Property from SF-2 Single Family Residential to PD-Planned Development Zoning District with a Base Zoning Designation of SF-4 Single-Family Residential and identified as Hillside Corinth Planned Development District No. 69 ("PD-69").

SECTION 6. CUMULATIVE REPEALER

This Ordinance shall be cumulative of all other Ordinances and shall not repeal any of the provisions of such Ordinances except for those instances where there are direct conflicts with the provisions of this Ordinance. Ordinances, or parts thereof, in force at the time this Ordinance shall take effect and that are inconsistent with this Ordinance are hereby repealed to the extent that they are inconsistent with this Ordinance. Provided however, that any complaint, action, claim or lawsuit which has been initiated or has arisen under or pursuant to such other Ordinances on this date of adoption of this Ordinance shall continue to be governed by the provisions of such Ordinance and for that purpose the Ordinance shall remain in full force and effect.

SECTION 7. SEVERABILITY

If any section, subsection, clause, phrase, or provision of this Ordinance, or the application thereof to any person or circumstance, shall to any extent be held by a court of competent jurisdiction to be invalid, void, or unconstitutional, the remaining sections, subsections, clauses, phrases, and provisions of this Ordinance, or the application thereof to any person or circumstance, shall remain in full force and effect and shall in no way be affected, impaired or invalidated.

SECTION 8. SAVINGS/CONFLICT

In the event of a direct conflict between the provisions of this Ordinance and any other regulation or rule prescribed by charter, another ordinance, resolution or other authorization of the City, the provisions of this ordinance shall control. Notwithstanding the foregoing, all rights and remedies of the City are expressly saved as to any and all complaints, actions, claims, or lawsuits, which have been initiated or have arisen under or pursuant to such conflicting Ordinance, or portion thereof, on the date of adoption of this Ordinance shall continue to be governed by the provisions of that Ordinance and for that purpose the conflicting Ordinance shall remain in full force and effect.

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**SECTION 9.
PENALTY FOR VIOLATIONS**

Any person, firm, or corporation who intentionally, knowingly or recklessly violates any provision of this Ordinance or the Code of Ordinances, as amended hereby, shall be subject to a fine not to exceed the sum of five hundred dollars (\$500.00) for each offense, and each and every day any such offense shall continue shall be deemed to constitute a separate offense, provided, however, that in all cases involving violation of any provision of this Ordinance or Code of Ordinances, as amended hereby, governing the fire safety, zoning, or public health and sanitation shall be subject to a fine not to exceed the sum of two thousand dollars (\$2,000.00) for each offense, and each and every day any such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 10.
PUBLICATION/EFFECTIVE DATE**

This Ordinance shall take effect upon its publication as required by law. The City Secretary is directed to publish the caption and penalty of this Ordinance as required by the City Charter and state law.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF CORINTH THIS
18TH DAY OF JANUARY, 2024.**

APPROVED:

DocuSigned by:

Bill Heidemann

AC74FAA88CA6468...

Bill Heidemann, Mayor

ATTEST:

DocuSigned by:

Lana Wylie

D77DD89FB0C3473...

Lana Wylie, City Secretary



APPROVED AS TO FORM:

DocuSigned by:

Patricia Adams

B5BAF55D871D428...

Patricia A. Adams, City Attorney

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EXHIBIT "A"
LEGAL DESCRIPTION

BEING a 19.971 Acre portion of Lot 1, Block A of Antioch Fellowship Addition, an Addition to the City of Corinth, Denton County, Texas, according to the map or plat thereof filed for record under Document Number 2016-128

Plat Records, Denton County, Texas (P.R.D.C.T.), and being more particularly described as follows:

BEGINNING at 1/2 inch iron rod with cap stamped "Kern" found for corner being the southeast corner of said Lot 1, same point being the northeast corner of a tract of land described by deed to Sterling and Mina Sacks, recorded under Instrument Number 2019-83953, Official Public Records, Denton County, Texas (O.P.R.D.C.T.), same point being in the west line of Lot 1, Block A of Haislip Family Farm, an addition to the City of Corinth, Denton County, Texas, according to the plat thereof recorded in Cabinet I, Page 181, P.R.D.C.T.;

THENCE South 89 degrees 21 minutes 37 seconds West, with the north line of said Sacks tract, a distance of 1036.42 feet to a 1/2 inch iron rod with blue cap stamped "OLD TOWN SURVEYING" (OTS) set for corner, from which the southwest corner of said Lot 1, Block A, Antioch Fellowship Addition bears South 89 degrees 21 minutes 37 seconds West at 356.82 feet;

THENCE North 00 degrees 38 minutes 23 seconds West, over and across said Lot 1, Block A of Antioch Fellowship Addition, a distance of 45.00 feet to a 1/2 inch iron rod with blue cap stamped "OTS" set for corner;

THENCE North 42 degrees 57 minutes 36 seconds West, over and across said Lot 1, Block A of Antioch Fellowship Addition, a distance of 138.44 feet to a 1/2 inch iron rod with blue cap stamped "OTS" set for corner;

THENCE North 00 degrees 53 minutes 08 seconds West, over and across said Lot 1, Block A of Antioch Fellowship Addition, a distance of 364.11 feet to a 1/2 inch iron rod with blue cap stamped "OTS" set for the beginning of a non-tangent curve to the left, having a radius of 2444.48 feet;

THENCE over and across said Lot 1, Block A of Antioch Fellowship Addition and with said curve to the left, through a central angle of 01 degrees 54 minutes 07 seconds, whose chord bears South 88 degrees 28 minutes 59 seconds West at 81.14 feet, an arc length of 81.14 feet to a 1/2 inch iron rod with blue cap stamped "OTS" set for the beginning of a curve to the left, having a radius of 325.00 feet;

THENCE over and across said Lot 1, Block A of Antioch Fellowship Addition and with said curve to the left, through a central angle of 21 degrees 00 minutes 28 seconds, whose chord bears South 77 degrees 01 minutes 49

seconds West at 118.50 feet, an arc length of 119.16 feet to a 1/2 inch iron rod with blue cap stamped "OTS" set for the beginning of curve to the right, having a radius of 375.00 feet;

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THENCE over and across said Lot 1, Block A of Antioch Fellowship Addition and with said curve to the right, through a central angle of 06 degrees 02 minutes 30 seconds, whose chord bears South 69 degrees 32 minutes 50 seconds West at 39.52 feet, an arc length of 39.54 feet to a 1/2 inch iron rod with blue cap stamped "OTS" set for the beginning of a curve to the left, having a radius of 190.50 feet;

THENCE over and across said Lot 1, Block A of Antioch Fellowship Addition and with said curve to the left, through a central angle of 06 degrees 28 minutes 41 seconds, whose chord bears South 69 degrees 19 minutes 45 seconds West at 21.53 feet, an arc length of 21.54 feet to a 1/2 inch iron rod with blue cap stamped "OTS" set for the beginning of a curve to the right, having a radius of 124.50 feet;

THENCE over and across said Lot 1, Block A of Antioch Fellowship Addition and with said curve to the right, through a central angle of 14 degrees 29 minutes 22 seconds, whose chord bears South 73 degrees 20 minutes 05 seconds West at 31.40 feet, an arc length of 31.48 feet to a 1/2 inch iron rod with blue cap stamped "OTS" set for the beginning of a curve to the right, having a radius of 379.50 feet;

THENCE over and across said Lot 1, Block A of Antioch Fellowship Addition and with said curve to the right, through a central angle of 09 degrees 49 minutes 45 seconds, whose chord bears South 85 degrees 29 minutes 39 seconds West at 65.02 feet, an arc length of 65.10 feet to a 1/2 inch iron rod with blue cap stamped "OTS" set for corner;

THENCE North 89 degrees 35 minutes 28 seconds West, over and across said Lot 1, Block A of Antioch Fellowship Addition, a distance of 15.66 feet to a 1/2 inch iron rod with blue cap stamped "OTS" set for corner being in the east right-of-way line of Post Oak Road;

THENCE North 04 degrees 24 minutes 11 seconds East, with the east right-of-way line of said Post Oak Road, a distance of 130.59 feet to a 1/2 inch iron rod with cap stamped "KAZ" found for corner;

THENCE North 02 degrees 28 minutes 39 seconds East, with the east right-of-way line of said Post Oak Road, a distance of 103.61 feet to a 1/2 inch iron rod with blue cap stamped "KAZ" found for corner;

THENCE North 00 degrees 22 minutes 21 seconds West, with the east right-of-way line of said Post Oak Road, a distance of 21.52 feet to a 1/2 inch iron rod with blue cap stamped "OTS" set for corner being the northwest corner of said Lot 1, Block A of Antioch Fellowship Addition;

THENCE North 89 degrees 10 minutes 53 seconds East, passing at 17.17 feet a 1/2 inch iron rod with cap stamped "RPLS 4561" found for the southwest corner of Provence, an addition to the City of Corinth, Denton County, Texas, according to the plat thereof recorded under Document Number 2009-197, P.R.D.C.T., and continuing on for a total distance of 887.30 feet to a point from which a 1/2 inch iron rod found bears South 48 degrees 26 minutes 27 seconds East at 0.90 feet;

THENCE North 89 degrees 38 minutes 55 seconds East, passing at 170.28 feet a 1/2 inch iron rod with cap stamped "RPLS 4561" found, and continuing on for a total distance of 591.79 feet to a 1/2 inch iron rod with blue cap stamped "OTS" set for corner being an ell corner of Lot 2R, Block E, Provence, an addition to the City of Corinth, Denton County, Texas, according to the plat thereof

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recorded under Document Number 2016-96, P.R.D.C.T., same point being the northeast corner of said Lot 1, Block A, Antioch Fellowship Addition;

THENCE South 00 degrees 37 minutes 59 seconds East, passing the southwest corner of said Lot 2R, and continuing on for a total distance of 706.23 feet to the POINT OF BEGINNING and containing 19.971 acres of land, more or less.

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EXHIBIT "B" GRAPHIC DEPICTION



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**EXHIBIT “C”
PLANNED DEVELOPMENT STANDARDS
HILLSIDE CORINTH
SINGLE-FAMILY RESIDENTIAL COMMUNITY**

PD DESIGN STATEMENT

SECTION 1 - OVERVIEW

A. PROJECT NAME/TITLE: Hillside Corinth

B. LIST OF OWNERS/DEVELOPERS: Rembert Enterprises, Inc.

C. PROJECT ACREAGE AND LOCATION:

The project site is approximately 24.17 acres on the east side of the intersection of Post Oak Drive and Creekside Drive in the City of Corinth. The rezoning request is for approximately 19.97 acres, a portion of Lot 1, Block A Antioch Fellowship Addition.

D. PROJECT OVERVIEW:

The Hillside Corinth residential subdivision will be a quality neighborhood with 68 residential lots and 7 open space lots. The proposed lot types conform to the Future Land Use designation, and the subdivision will include sidewalk and right-of-way dedication for the future expansion of Post Oak Drive and extension of Creekside Drive including trails.

E. PROJECT DESCRIPTION:

The Planned Development (PD) is intended to provide for a quality development of a residential community taking advantage of the location and the concepts outlined in Envision Corinth 2040 Comprehensive Plan by promoting variation in single-family dwelling types (95' and 50' Lots) (See Exhibit “C” – Concept Plan), providing a network of common open spaces, preserving groves of mature trees, maintaining a density of 3.41 dwelling units per acre, and providing neighborhood scale detention facilities with amenities.

Prior to approval of PD-69, the zoning of the property was SF-2 and the property was rezoned as a PD with a base of SF-4. The purpose of this PD is to allow a transition between SF-3 to the north in the Provence subdivision and PD-39 to the south and east in the Terrace Oaks subdivision.

SECTION 2: USES AND AREA REGULATIONS

A. DEVELOPMENT REGULATIONS:

The following “Development Regulations” represent special development regulations, and specific departures or modifications, as well as waivers from the regulations outlined in Unified Development Code (UDC) in order to permit the unique design and afford flexibility and innovation of design that require certain departures from

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the SF-4 regulations to create the residential project as presented in Exhibit C – PD Concept Plan and other associated plans as presented in “Supporting Documents” contained in Appendix A.

1) Permitted Uses and Use Regulations

In the PD-69 District, no building, or lands shall be used, and no building shall be hereafter erected, reconstructed, enlarged, or converted unless otherwise provided for in the SF-4 Single Family Residential District (Detached) regulations of the UDC or otherwise permitted by this PD Ordinance. The Permitted Uses in the SF-4, Single Family Residential (Detached) District, as listed in Subsection 2.07.03 of the UDC, shall be permitted in the PD-69 District. The residential building layout shall be in general conformance with the PD Concept Plan shown in Exhibit “D” attached hereto.

2) Dimensional Regulations

The Dimensional Regulations described in Section 2.08.04 of the Unified Development Code, for the base zoning district SF-4 Single Family Residential (Detached) shall apply, except as modified below:

Dimensional Regulations UDC Section 2.08 shall be modified from the base zoning district of SF-4 to permit two (2) lot types, single-family residential lot widths and shall comply with the requirements identified in **Table A**, below.

Table A – Dimensional Requirements

Dimensional Regulations (Deviations) Table A			
	Base	Hillside	
	Zoning	Corinth	
Development Standards	SF-4	PD-69	
Lot Sizes		50'	95'
Minimum Lot Width at Building Line	70 feet	50 feet	95 feet
Minimum Front Yard Setback	25 feet	25 feet*	25 feet*
Minimum Side Yard Setback: Interior Lot	5 feet	5 feet	5 feet
Corner Lot	15 feet	15 feet	15 feet
Minimum Rear Yard Setback	20 feet	20 feet	20 feet
Minimum Lot Area	7500 s.f.	6250 s.f.	13,500 s.f.
Maximum Density	N/A	3.41 Lots/Acre	
Minimum Lot Depth	100 feet	100 feet	
Minimum Floor Area	1500 s.f.	1800 s.f.	
Maximum Building Area Coverage	30%	55%	

* The front setback may be reduced to a minimum of 15 feet for the following elements:

- 1) A “j-swing” garage provided the wall of the garage that faces the street contains a glass pane window with a minimum size of three feet by five feet and the height of the garage does not exceed one story.
- 2) An unenclosed front porch has a minimum dimension of seven feet in depth measured from stud to the front edge of the porch and a minimum width of 10 feet.

Base Modified Standards

- Air conditioning units may be installed in sideyards.
- The total number of single-family lots shall not exceed 68 units.
- Maximum building area coverage shall be exclusive of sidewalks, driveways, and accessory structures.
- Four (4) residential lots along the northern property line, as identified in Exhibit C – PD Concept Plan, shall be restricted to one-story. Developer shall include this restriction in HOA CCRs and Final Plat.

Justification:

The proposed standards and “Dimensional Regulations” vary from the SF-4 base standards to provide transition between adjacent properties and a variety of options in lot/house sizes.

3) Accessory Building and Uses

UDC Section 2.07.07 Accessory Building and Uses shall apply.

4) Landscaping Regulations

UDC Section 2.09.01 B.2 shall apply, with the additional provision that the future trail to be installed with the future construction of Creekside Drive may be located within the required landscape edge buffer, provided that a 5' Pedestrian Access Easement is established in the Subdivision Plat.

Justification:

This departure is to allow the option to provide a more natural looking area adjacent to open space and attempt to maintain additional existing trees where possible.

Additional Landscaping Regulations

- a) Shade trees within the required 15' landscape buffers adjacent to the future collector roadway (including along the Drainage X Lot) shall be installed by the Developer at the time of subdivision construction, and not at time of roadway construction.
- b) Required shade trees to be installed by the Developer on the buffers on the south side of the property adjacent to the future collector roadway (including along the Drainage X Lot)
- c) The Drainage facility X lot shall be amenitized at a minimum with enhanced landscaping and sitting area along the western boundary adjacent to the sidewalk to meet the intent of Neighborhood Place Type in Comprehensive Plan, in the event that the design of the facility does not permit the installation of landscape/hardscape as depicted in Exhibit E – Conceptual Landscape and Screening Plans

5) Tree Preservation Regulations

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UDC Section 2.09.02 shall apply. Additionally, the Developer/HOA agrees to preserve and perpetually maintain approximately 20% of all existing healthy protected caliper inches on site. These trees will be preserved in lots to be designated as Open Space/Tree Preservation lots, to serve as passive recreation areas for residents of the development. Open Space/Tree Preservation Lots shall be owned and maintained in perpetuity by the HOA. Open Space/Tree Preservation Lots shall not be sold or otherwise conveyed.

Justification:

The proposed standards and Tree Preservation outlined ensure additional healthy protected trees (as identified by a registered arborist) will be saved in HOA maintained open space.

6) Vehicular Parking Regulations

UDC Section 2.09.03. Vehicular Parking Regulations shall apply.

7) Garages

UDC Section 2.09.03.B shall apply with front entry garages being allowed.

8) Building Façade Material Standards

UDC Section 2.09.04 Building Façade Material Standards shall apply, with the additional provision that façade building materials be 100% brick, stone, or fiber reinforced cementitious board, with no more than 30% being fiber reinforced cementitious board.

9) Park and Trail Land Dedication

UDC Section 3.05.10 which requires that Park and Trail dedication for Residentially Zoned Property to be provided at a rate of 1 acre per/50 DU and/or fees-in-lieu of, shall apply, with the following additional provisions:

- a) The flat perimeter land area of a detention facility on an X lot may be included in the calculation to meet the requirements of this section. To be considered towards meeting the requirements of this subsection, the facility shall be designed based on the following criteria:
 - i) Wet detention areas shall be improved to include a six-foot (6') meandering trail around the perimeter that includes defined landscaped pockets to include sitting areas with benches, pedestrian decorative lighting, shade trees (at a rate of one (1) tree per thirty (30) linear feet of trail) and ornamental trees (at a rate of one (1) tree per every two (2) shade trees provided) located at intervals along the trail. In addition, the landscape pockets shall include a half circle of landscape plantings behind each bench. The pond shall include a fountain feature.
 - ii) Dry detention areas shall be improved to include a six-foot (6') meandering trail around the perimeter that includes defined landscaped pockets to include sitting areas with benches, pedestrian decorative lighting, shade trees (at a rate of one (1) tree per thirty (30) linear feet of trail) and ornamental trees (at a rate of one (1) tree per every two (2) shade trees provided) located at intervals along the trail. In addition, the landscape pockets shall include a half circle of landscape plantings behind each bench. Additionally, Bald Cypress trees may be planted within the bottom of the basin and these trees may be used to satisfy any required tree mitigation, subject to Engineering approval of tree plantings within the basin.
 - iii) Alternative perimeter design may be considered by the Director of Development Services at the time of Subdivision Construction Plans approval based on best planning, engineering, and landscape architecture practices to achieve a similar intent of items i. and ii. above.

10) Lighting and Glare Regulations

UDC Section 2.09.07 shall apply.

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11) Sign Regulations

UDC Section 4.01 shall apply.

12) Fence and Screening Regulations

UDC Section 4.02 shall apply, except as modified below:

- a) When a key lot has two (2) front yards and a house is constructed facing one (1) of the two (2) front yards, a fence constructed on the second front yard shall be constructed at the building line. Fences in front of the building line will not be permitted on either front yard of the key lot.

Additionally, fences installed on lots adjacent to internal open space shall be constructed of tubular metal (wrought iron) and installed by the Developer. Where tubular metal fence is in place, a wood fence may not be constructed behind or in front of the tubular metal fence. Prior to the acceptance of the subdivision and prior to the issuance of any residential building permits, the developer shall install a cedar board-on-board fence, eight (8') foot in height, along the northern property line of Lots 1-10, Block A. The metal support posts shall face to the south. This fence shall be maintained by the HOA. An eight (8') cedar board-on-board fence shall be installed as the back yard fencing for lots 1-3 along the eastern boundary of the development. Masonry screening walls adjacent to existing arterial and future collector roadways, as identified in Exhibit E – Conceptual Landscape and Screening Plans shall be installed by the developer prior to the acceptance of the subdivision and prior to the issuance of any residential building permits and shall not extend beyond the front setback line of adjacent lots. The subdivision plat shall reflect a five (5) foot wide maintenance easement in each residential lot with masonry fence to permit the maintenance of the screening and fencing.

13) Other

a) Street Design

UDC Section 3.05.13 shall apply. Sidewalks shall be located and installed per the City's UDC. The trail along Post Oak Drive will be constructed by the City of Corinth with the Post Oak Drive Expansion Project.

b) Stormwater Detention Basin Design

Existing pond on-site shall be modified to accommodate developed detention design in Lot 5X, as identified in Exhibit C – Concept Plan, and will be designed per the City's Drainage Standards.

c) Single Story Home lot restrictions.

Developer will deed restrict per Zoning regulations, Record Plat, and HOA CCRs four (4) residential lots along the Provence property line. Single family restricted lots are identified on Exhibit C.

d) Garage Doors

The garage door(s) shall not extend in front of the home. No more than two (2) single garage doors or one (1) double garage door shall face the primary street on a front elevation. A third garage door may be located as a "j-swing" door or may face a side street on a corner lot.

B. OTHER DEVELOPMENT CONSIDERATIONS:**1) Platting**

Remainder of Lot 1, Block A, Antioch Fellowship Addition will be included with plat of subdivision but is not part of PD-69.

2) Phasing

The proposed development will be constructed as a single phase. Anticipate starting the preliminary platting, engineering, and construction process immediately upon approval of the requested zoning change.

3) Impacts**a) Traffic Impact Assessment**

Not required due to size of project per Traffic Impact Memo submitted with application.

b) Drainage/Stormwater Management

Storm drainage improvements will be designed and constructed in accordance with the City's published criteria. All storm improvements are intended to be public and will be dedicated to the City upon completion, except for detention facilities that will be maintained by the HOA.

c) Floodplain/Wetland

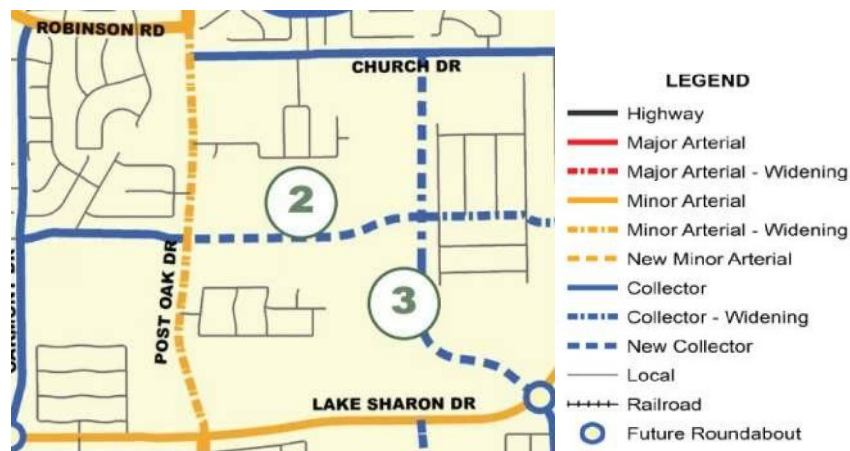
There are no floodplain or wetlands present on the site.

d) Utilities

Water and sanitary sewer will be constructed to provide service to all lots within the development in accordance with the City's published criteria. All water and sanitary sewer are intended to be public and will be dedicated to the City upon completion of construction.

4) Mobility – Master Thoroughfare Plan

The Master Thoroughfare Plan calls for a continuation of Creekside Drive, identified as a Collector, half along the southern property line and a future widening of Post Oak Drive. Exhibit C – PD Concept Plan shows the proposed continuation of Creekside Drive and allows for the widening of Post Oak Drive. Right-of-way dedication for Post Oak Drive and continuation of Creekside Drive will be made at the time of platting.



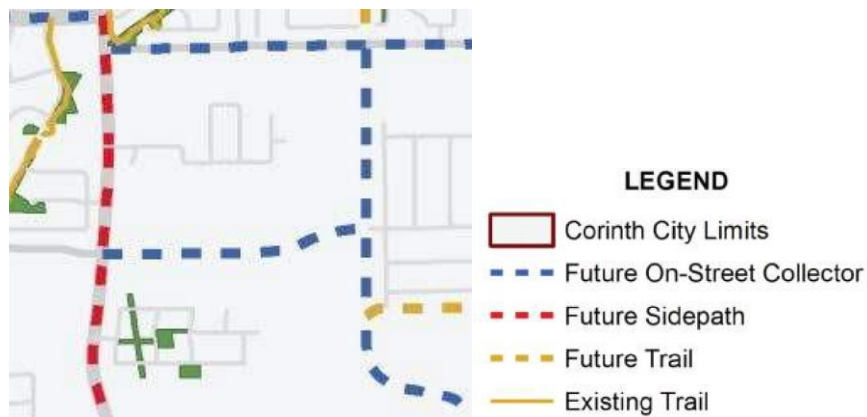
Ordinance No. 24-01-18-05

Page **16** of 23

[Source: Envision Corinth 2040 Comprehensive Plan - Master Thoroughfare Plan \(Adopted July 2020\)](#)

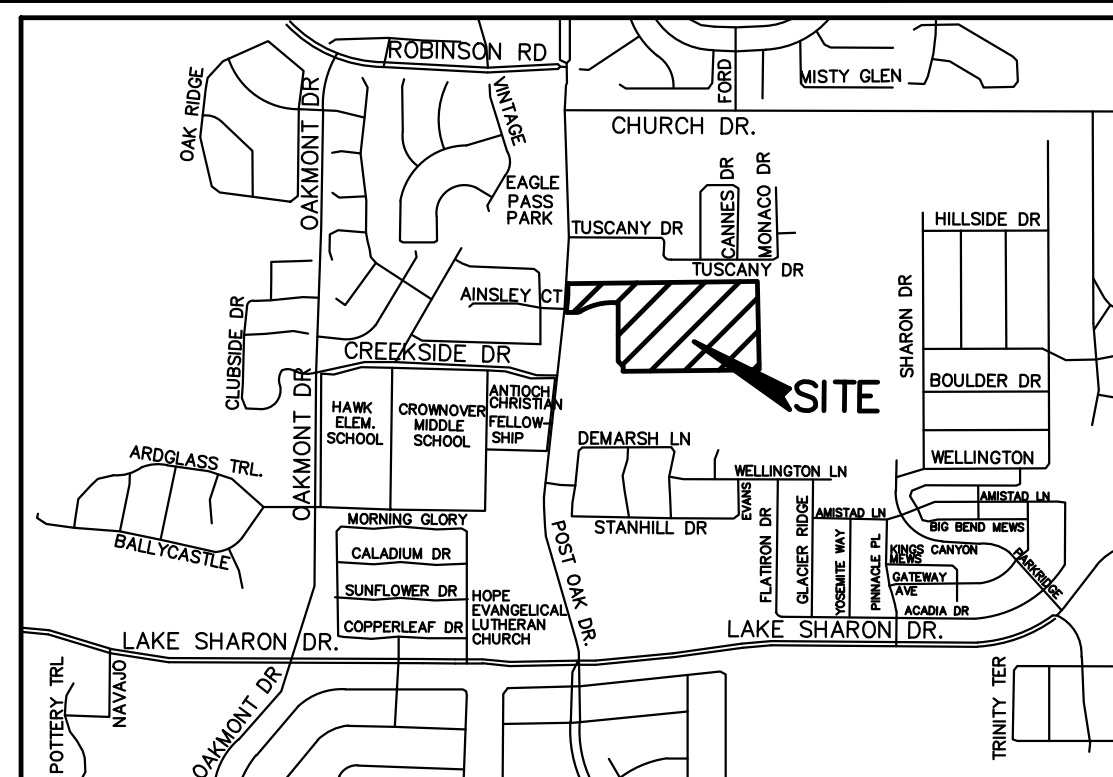
5) Mobility – Active Transportation Plan

The Active Transportation Plan calls for a Future On-Street Collector along the continuation of Creekside Drive and a side path along Post Oak Drive. The future Collector will be constructed when the southern property develops or the city acquires the necessary ROW, and the proposed side path along Post Oak Drive will occur with the planned widening.

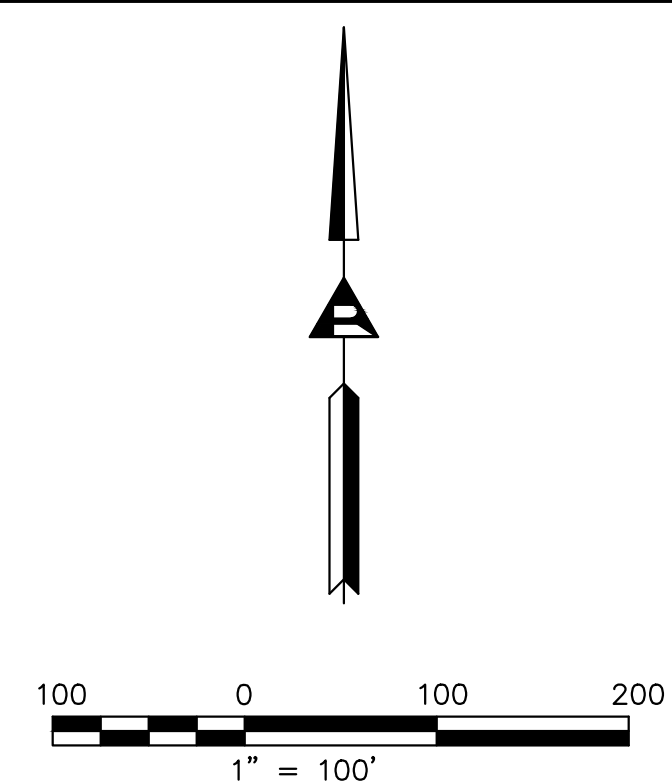


6) Park, Recreation and Open Space Masterplan

There are no parks designated on this property, but there are 7 Open Space lots including treed areas that are intended to be used similar to a passive park by the residents. All open space areas shall be owned and maintained by the HOA.



VICINITY MAP: NOT TO SCALE

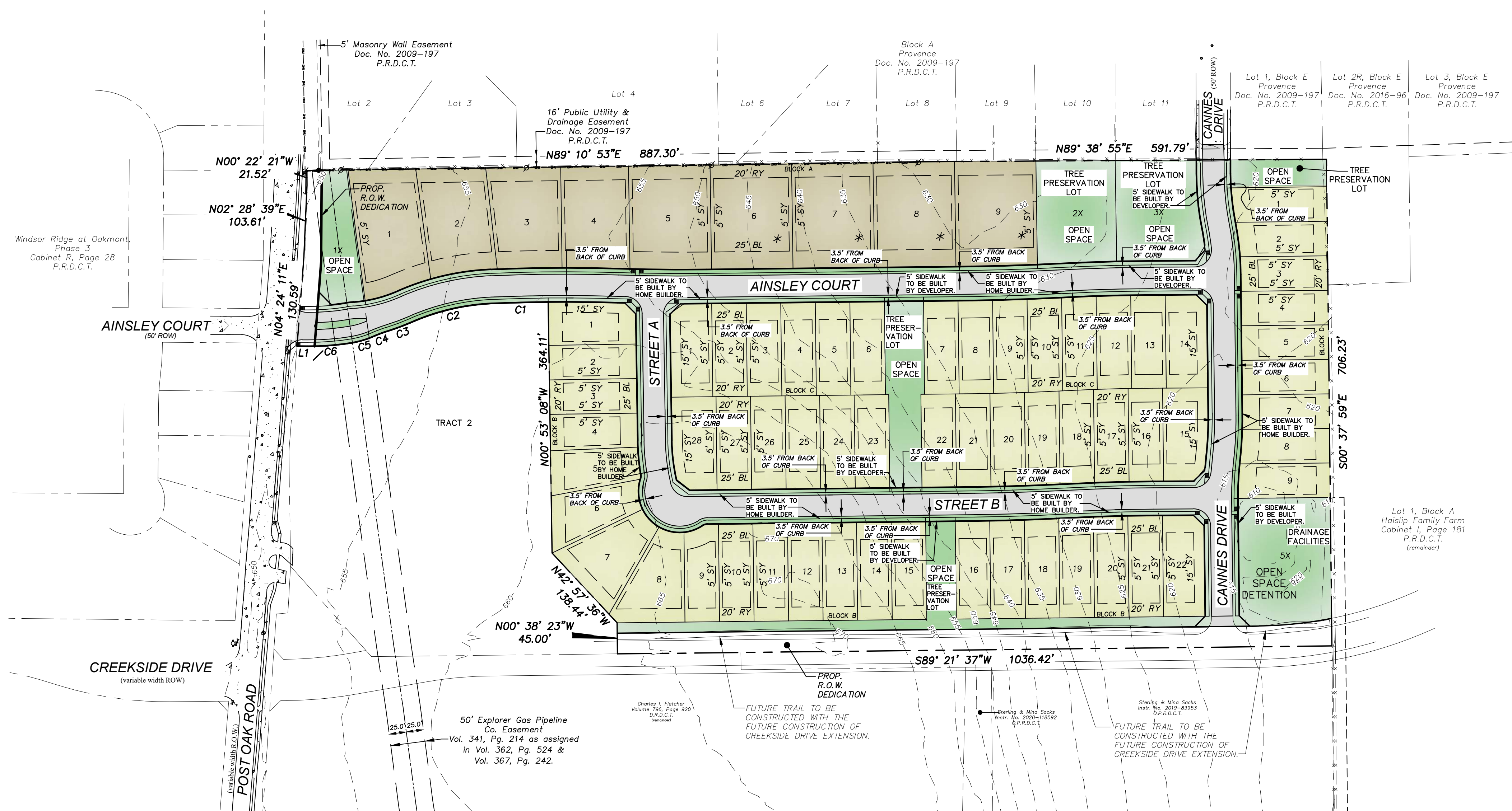


No.	Date	Revisions	App.

**Ridinger
Associates, Inc.**
Civil Engineers - Planners

 Firm No. 1989
550 S. Edmonds Lone, Suite 101
Lewisville, Texas 75067

Tel. No. (972) 353-8000
Fax No. (972) 353-8011



NOTE:
1.) ALL OPEN SPACE LOTS AND TREE PRESERVATION LOTS
TO BE OWNED AND MAINTAINED IN PERPETUITY
BY THE HOMEOWNERS ASSOCIATION.

SITE DATA SUMMARY	
EXISTING ZONING	SF-2
PROPOSED ZONING	PD (SF-4 BASE)
FUTURE LAND USE	NEIGHBORHOOD
GROSS AREA	19.971 ACRES
INTERNAL ROW	3.57 ACRES
POST OAK ROW DEDICATION	0.14 ACRES
COLLECTOR ROW	0.72 ACRES
IMPERVIOUS AREA	2.99 ACRES
% IMPERVIOUS	14.97%
DENSITY	3.41 LOTS/AC
OPEN SPACE AREA	2.46 ACRES
% OPEN SPACE	12.32%
LOT SUMMARY	
50' X 120'	59
95' X 120'	9
TOTAL RESIDENTIAL LOT COUNT	68
OPEN SPACE/TREE PRESERVATION LOTS	7

* DENOTES RESTRICTED TO ONE-STORY

LINE TABLE		
LINE #	DIRECTION	LENGTH
L1	N89°35'28"W	15.66'

CURVE #	RADIUS	LENGTH	DELTA	CHORD
C1	244.48'	81.14'	154°07"	S88°28'59"W 81.14'
C2	325.00'	119.16'	210°00'28"	S77°01'49"W 118.50'
C3	375.00'	39.54'	6°02'30"	S69°32'50"W 39.52'
C4	190.50'	21.54'	6°28'41"	S69°19'45"W 21.53'
C5	124.50'	31.48'	14°29'22"	S73°20'05"W 31.40'
C6	379.50'	65.10'	9°49'45"	S85°29'39"W 65.02'

LEGEND

50' LOTS

95' LOTS

HILLSIDE OF CORINTH
SUBDIVISION
CORINTH, TEXAS

EXHIBIT C
PD CONCEPT PLAN

Scale: 1" = 100'

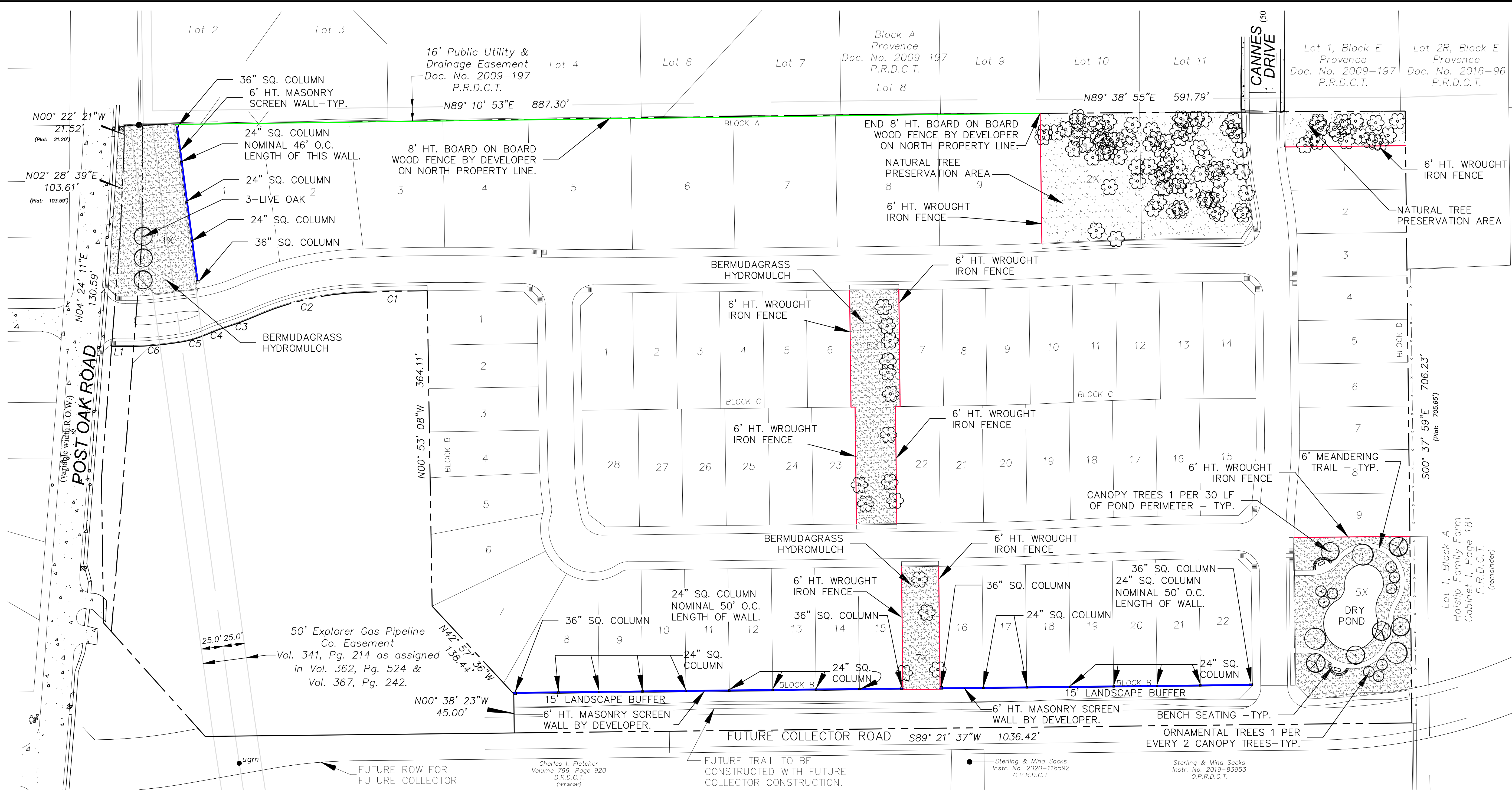
Scale: 1" = 100'

Scale: 1" = 100'

Scale: 1" = 100'

Scale: 1" = 100'

SHEET
1 OF 1



GENERAL LANDSCAPE NOTES

1. All landscape areas are to be received within .1' of proposed finish grade and free from all trash and debris.
2. All trees are to be planted in pits twice the diameter of the tree ball and no deeper than the depth of the ball. Scarify all tree pit sides prior to planting. All trees are to be planted plumb and at or slightly above finish grade. All tree pits are to have a 3" watering saucer formed around the perimeter of the pit. All tree pits are to be top dressed with a 2" layer of shredded hardwood mulch. Stake and / or guy trees only at the direction of the landscape architect.
3. Rotovate the existing soil of all planting beds to a minimum depth of 6". Add a 3" layer of premium compost as supplied by Living Earth Technology and till into the top 3" of the existing soil. Install all shrubs 1" above finish grade and fertilize with Agri-form slow release fertilizer tablets at the manufacturer's recommended rates of application. Top dress all planting beds with a 2" layer of shredded hardwood mulch.
4. All planting beds not formed by a concrete curb or sidewalk are to edged with Steel Edging (1/8"x4" painted green) or an approved equal. All edging stakes are to be placed to the inside of the bed and the top of the edging is to be no less than 1" and no more than 1.5" above proposed finish grade.
5. All turf areas are to be hydromulch Bermudagrass, unless otherwise noted on the plan.
6. Hydromulch with Bermudagrass seed at a rate of two (2) pounds per one thousand (1,000) square feet. If installation occurs between September 1 and April 1, all hydromulch areas to be Winter Ryegrass at a rate of four (4) pounds per thousand square feet. Contractor shall be required to re-hydromulch with Bermudagrass the following growing season.

7. All sodded areas are to receive common bermuda sod laid parallel to the contour of the land. All sod on slopes greater than 1:4 is to be pinned with 1"x1"x12" wooden stakes. All sod is to be laid with tight joints and with all joints staggered. Roll all sod with a water ballast lawn roller upon installation and fertilize with a complete fertilizer (13-13-13) at the rate of 1.5# actual nitrogen per 1000 square feet. Water all sod thoroughly.
8. All irrigation meter(s) are to be by utility contractors as per local codes. Irrigation sleeves to be installed by licensed irrigation contractor as per the plan.
9. All irrigation controllers are to have mini-click freeze and rain stats installed as per manufacturer's recommendations.
10. All irrigation sleeves to be by licensed irrigation contractor. All sleeves to be PVC schedule 40 with 90 degree elbows on both ends with extensions protruding 18" above proposed finish grade.
11. All turf and planting beds to be zoned separately. All planting bed heads to be on 12" pop-up risers. All turf heads to be on 4" pop-up risers. All valves to be plastic valves. All equipment to be Rainbird or approved equal.
12. All mainline and lateral line to have a minimum of 12" of cover and to be SDR (class 200) pipe.
13. Quantities shown on plant list are landscape architect's estimate only and should be verified prior to bidding. Contractor shall be responsible for bidding and providing quantity of plants required at spacing designated for bed sizes and configurations shown on the plans regardless of quantities designated on plant list.

IRRIGATION NOTES:

1. All landscaped areas shall be irrigated with an irrigation system capable of providing the proper amount of water for the particular for the particular type of plant material used. Irrigation will be provided by an underground sprinkler system, or a subterranean drip drip system as approved by the City Arborist.
 2. Automatic underground irrigation system shall be equipped with freeze guard set at 38 degrees F.
- PLANT LIST
3- LIVE OAK / Quercus virginiana / 3" cal. / 7' ht. /5' sp. /container grown
BERMUDAGRASS / Cynodon dactylon / Hydromulch
- NOTE: Plantings shown on lot 5X are schematic and are shown to reflect required rates of trail and dry pond plantings to be installed by developer upon construction of the project.
- TREE PRESERVATION
Project shall comply with Tree Preservation Ordinance under Unified Development Code Subsection 2.09.02.
- Lots 2X, 3X, 4X, 5X, 6X and 7X are to be owned and maintained by the HOA as designated Open Space and Tree Presevation lots.

LANDSCAPE TABULATIONS

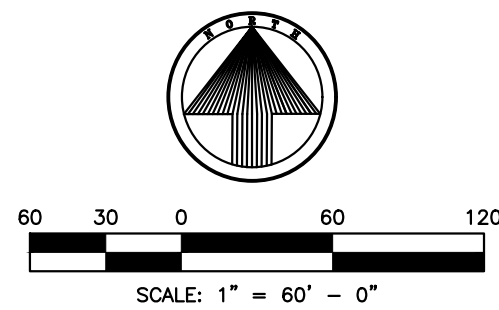
LANDSCAPE EDGE:

Arterial Street (Post Oak Road) 62'-95' Edge Provided / Trees 25' o.c. Provided
Collector Street required plantings not shown pending final road alignment and grading.

✿ DENOTES EXISTING TREE TO BE PRESERVED.

FENCE/WALL LEGEND	
	6' HT. MASONRY SCREEN WALL
	6' HT. WROUGHT IRON FENCE
	8' HT. BOARD ON BOARD WOOD FENCE

Landscape Architecture
P. O. Box 12590 Dallas, Texas 75225 T: 214-454-9934
DATE SEALED October 18, 2025
CHECKED BY: JBS DATE: APRIL 7, 2025



HILLSIDE OF CORINTH
RESIDENTIAL SUBDIVISION
Being 68 Residential Lots & 7 X-Lots
19.971 acres Situated in the
Wm. Garrison Survey, Abstract No. 508
in the
City of Corinth
Denton County, Texas

No.	Date	Revisions	App.

Ridinger Associates, Inc.
Civil Engineers - Planners
Firm No. 1969
550 S. Edwards Lane, Suite 101
Lewisville, Texas 75067
Tel. No. (972) 353-8000
Fax No. (972) 353-8011

HILLSIDE OF CORINTH
SUBDIVISION
CORINTH, TEXAS

EXHIBIT E
CONCEPTUAL
LANDSCAPE PLAN

Scale: 1"=60'-0"

Designed by: JBS

Drawn by: JBS

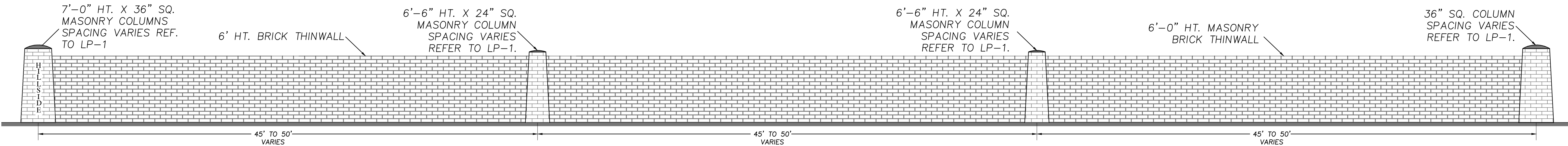
Checked by: SCDG

Date: OCTOBER 31, 2023

Project No. 035-034

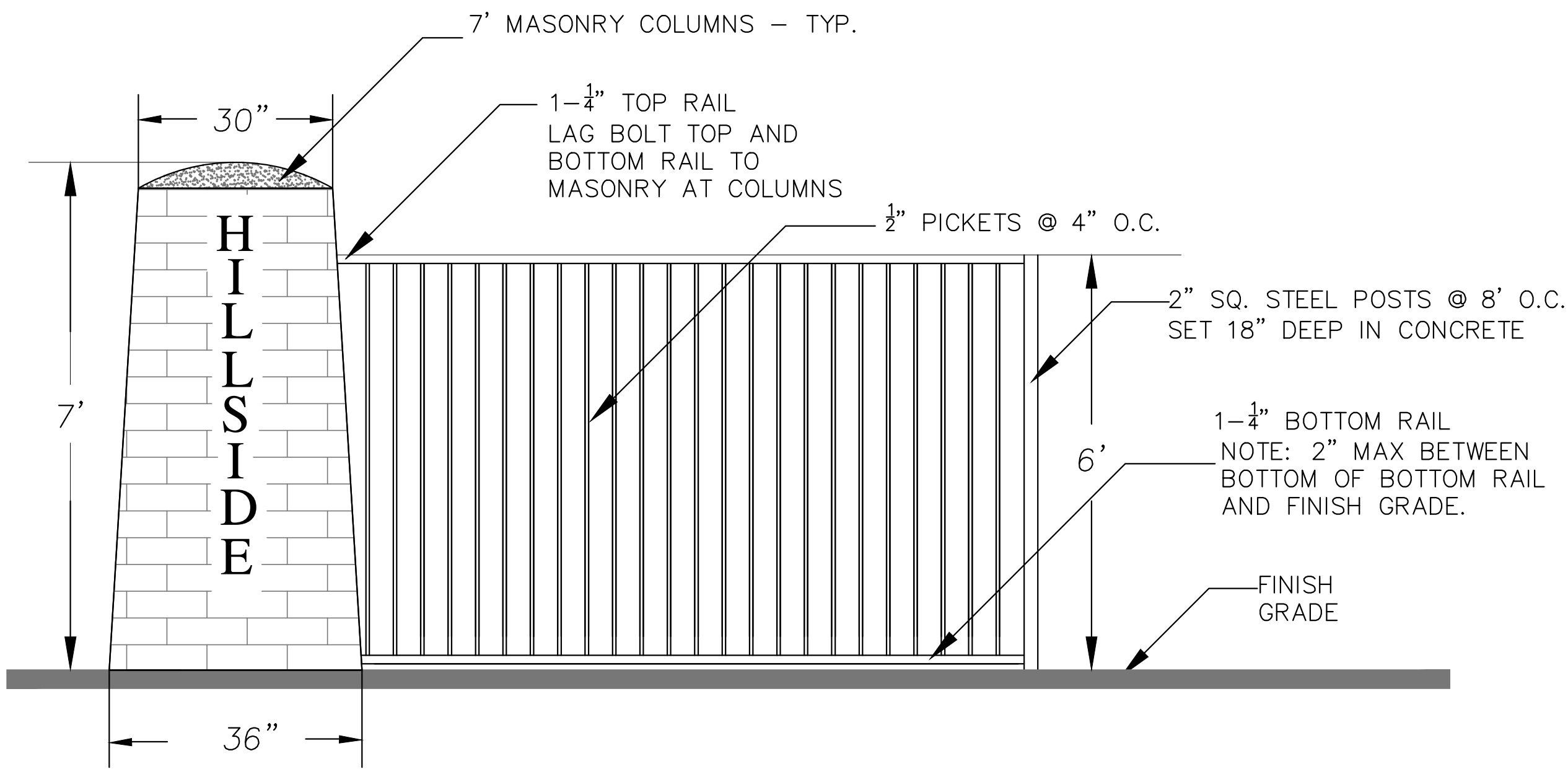
SHEET

LP-1



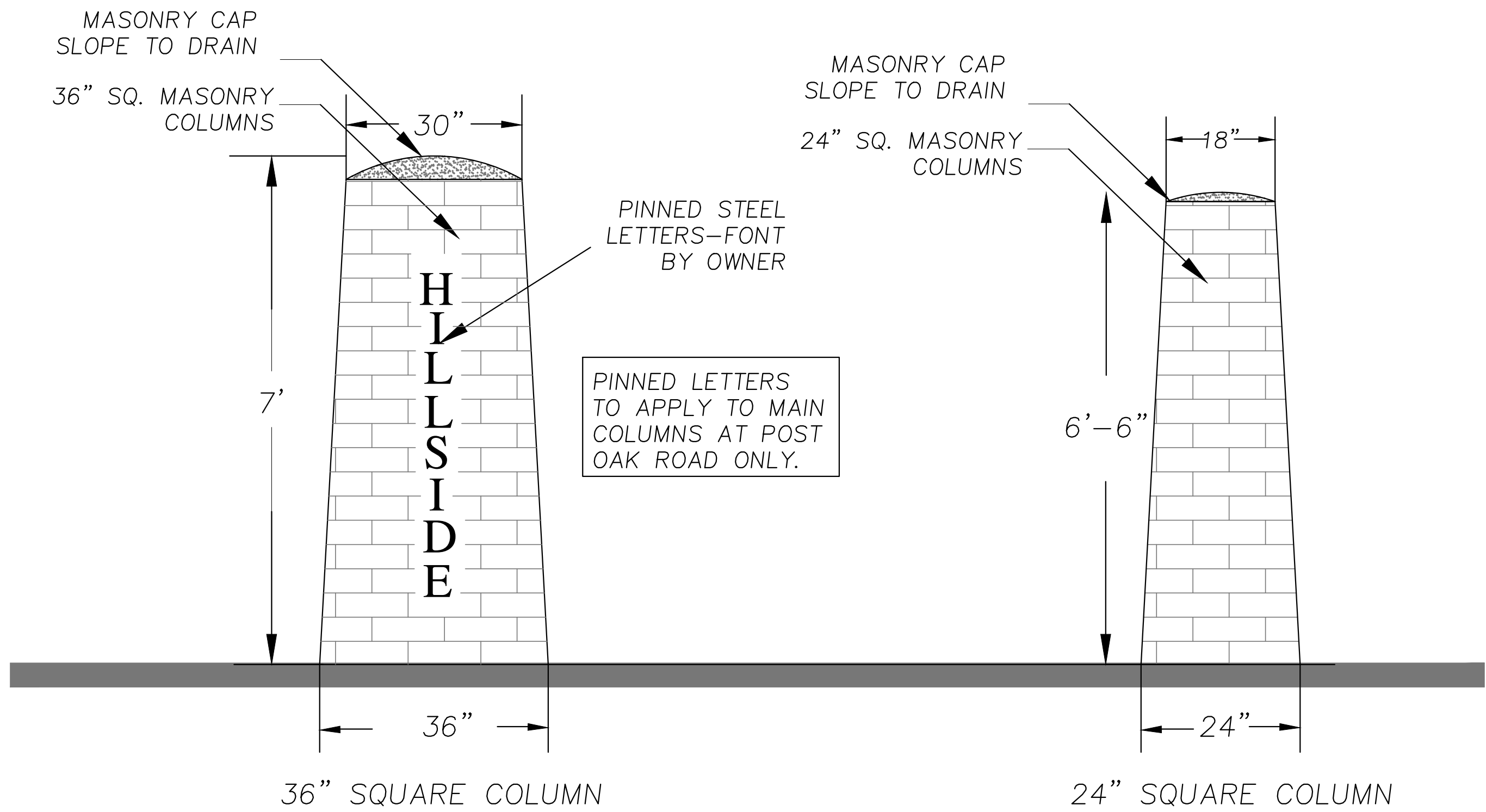
BRICK THINWALL AND COLUMN DETAIL

NOT TO SCALE



6' HT. FLAT TOP IRON FENCE AT COLUMN DETAIL

NOT TO SCALE



COLUMN DETAIL

NOT TO SCALE

ST. CLAIR DESIGN GROUP, INC.

Landscape Architecture

P. O. Box 1259
Dallas, Texas 75225
T: 214-454-9204

DESIGN BY: JBS
DRAWN BY: JBS
CHECKED BY: SCDD
DATE: APRIL 7, 2023

HILLSIDE OF CORINTH
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Firm No. 1969
550 S. Edmonds Lane, Suite 101
Lewisville, Texas 75067
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Fax No. (972) 353-8011



HILLSIDE OF CORINTH
SUBDIVISION
CORINTH, TEXAS

EXHIBIT E
LANDSCAPE PLAN
DETAILS

Scale: NOT TO SCALE
Designed by: JBS
Drawn by: JBS
Checked by: SCDD
Date: OCTOBER 31, 2023
Project No. 035-034

SHEET
LP-2











OFFICIAL USE:
Case Number: ZAPD25-0002

Approved PD: PD-69 Hillside Corinth

Name (Applicant/Authorized Agent): Reginald Rembert

Applicant Signature: [Signature]

Minor PD, Planned Development Amendment Application

In accordance with UDC Section 2.10.09.D.1., The Director of Development Services may administratively approve or defer to City Council a Minor PD Amendment and Adjustment to the Planned Development Ordinance.

MODIFICATION/AMENDMENT REQUEST - PD to be Amended: PD-69 Hillside Corinth

Requested Amendment:

To amend PD-69, Exhibit "C" Planned Development Standards by amending the language of Subsection 2.A.4 Landscaping Regulations and Subsection 2.A.12 Fence and Screening Regulations to read in their entirety as follows (removed text struck through, new text in red):

4) Landscaping Regulations

UDC Section 2.09.01.B.2 shall apply, except as modified below:

- a) Required shade trees within the 15' landscape buffers adjacent to the future Creekside Drive extension shall be installed by the **City at the time of roadway construction**.
- b) The Drainage facility X lot shall be amenitized at a minimum with enhanced landscaping and sitting area along the western boundary adjacent to the sidewalk to meet the intent of the Neighborhood Place Type in the 2040 Comprehensive Plan, in the event that the design of the facility does not permit the installation of landscape/hardscape as depicted in Exhibit E- Conceptual Landscape and Screening Plans.

...

12) Fence and Screening Regulations

UDC Section 4.02 shall apply, except as modified below:

- a) When a key lot has two (2) front yards and a house is constructed facing one (1) of the two (2) front yards, a fence constructed on the second front yard shall be constructed at the building line. Fences in front of the building line will not be permitted on either front yard of the key lot.
- b) **UDC Subsection 4.02.11.E – Residential Construction Abuts a Collector or an Arterial Street shall not apply along Creekside Drive.**

Additionally, fences installed on lots adjacent to internal open spaces shall be constructed of tubular metal (wrought iron). **Fences installed on lots adjacent to Creekside Drive shall be constructed of tubular metal (wrought iron) and**

installed by the Developer. Where tubular metal fence is in place, a wood fence may not be constructed behind or in front of the tubular metal fence. Prior to the acceptance of the subdivision and prior to the issuance of any residential building permits, the Developer shall install a cedar board-on-board fence, eight (8') foot in height, along the northern property line of Lots 1-9, Block A, which shall be maintained by the HOA. ~~The metal support posts shall face to the south.~~ For portions of this fence located on top of retaining walls two (2') feet in height or greater, a six (6') foot board-on-board wood fence shall be installed, resulting in a minimum combined height of eight (8') feet for the retaining wall and fence. ~~An eight (8') foot cedar board-on-board fence shall be installed as the back yard fencing for lots 1-3 along the eastern boundary of the development.~~ Masonry screening walls shall be installed adjacent to Post Oak Drive, as identified in Exhibit E – Conceptual Landscape and Screening Plan, by the Developer prior to acceptance of the subdivision and prior to the issuance of any residential building permits and shall not extend beyond the front setback line of adjacent lots. The subdivision plat shall reflect a five (5') foot wide maintenance easement in each residential lot with masonry screening walls to permit maintenance.

Approved/Denied:



Melissa Dailey, AICP, CEcD, CNU-A
Director of Community & Economic
Development

Date: 6/22/24